

Report: [REDACTED] -Inspection Address: [REDACTED]

Confidential Inspection Report

[REDACTED]

[REDACTED]



Prepared for: [REDACTED]

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

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NATIONAL HOME INSPECTION SERVICE INC.

P.O. BOX 30120
COLUMBUS, OHIO 43230

CLIENTS NAME: [REDACTED]
PROPERTY ADDRESS: [REDACTED]
DATE: [REDACTED] TIME: 11:00 AM WEATHER: Partly Cloudy TEMPERATURE: 76-80 F

At your request, and in your presence, a visual inspection of the readily accessible areas of the above referenced property was conducted in accordance with the Standards of Practice. The primary purpose of the inspection was to identify visible defects, that in the judgment of the inspector, adversely affect the function or integrity of items, components, and systems at the property. Hidden or concealed defects cannot be identified and are excluded from this Inspection Report. Other problems that do not affect the habitability of the property that are the result of normal wear and tear may have been observed or discussed but are not part of this Inspection Report.

It is understood that NATIONAL HOME INSPECTION SERVICE INC. is not an insurer and this report is not an insurance policy. **The inspection and report are not intended or to be construed as a guarantee or warranty of the adequacy, performance or condition of any structure, item or system at the property and the maximum liability must be limited to the fee paid.** The following is a written opinion, expressed as a result of the inspection, as to the apparent conditions of the property as they existed on the date of inspection:

SUMMARY OF AREAS REQUIRING FURTHER EVALUATION

This Inspection Report is the exclusive property of NATIONAL HOME INSPECTION SERVICE INC. and Client whose name appears herewith and its use by any unauthorized persons is prohibited.

SITE CONDITIONS

STEPS/STOOPS:

COMMENTS:

The rear wood stairs had a moisture damage board where the stairs attach the home (under the door) and will need professionally repaired as required. Recommend contacting a qualified specialist for further evaluation and recommendation and actual cost of repair or replacement.



EXTERIOR - FOUNDATION - BASEMENT

TRIM MATERIAL:

COMMENTS:

The composite trim under the gutter on the rear of the home had moisture damage that will need professionally repaired. Recommend contacting a qualified exterior trim specialist for further evaluation and recommendations and actual cost of repair or replacement.



INTERIOR - WINDOWS - FIREPLACE

WINDOWS:

COMMENTS:

The dinette side, master bedroom left, right guest bedroom and left windows have visible broken seals (moisture between panes of glass) and will need further evaluation. Recommend contacting a qualified glass specialist to determine the exact "number of windows" that will need repair or replacement.





PLUMBING SYSTEMS

WASTELINES:

WASTE FLOW:

The hall bathroom sink & tub and master bathroom tub tested "slow-drain" the day of inspection and will need the drain-stopper adjusted and/or wasteline cleared as required for adequate drainage.



BATHROOMS:

COMMENTS:

The upstairs hall bathroom commode is, The visible area(s) of the bathrooms were inspected and appeared functioning as intended except

for comments-made and normal wear and tear. See Plumbing Fixtures for additional information. *extremely loose and will need professionally secured as required to prevent future damage.*

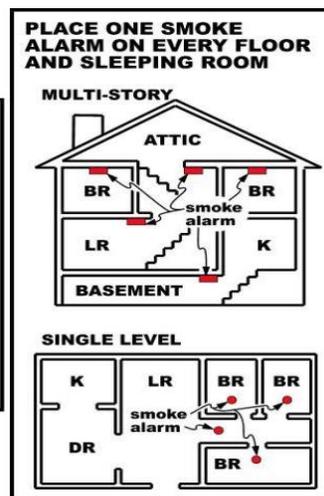


ELECTRICAL SYSTEMS

SWITCHES & OUTLETS:

FIRE-CO ALARMS:

Recommend installing or updating old outdated Smoke and/or Carbon Monoxide Detectors in home for life-safety.



IMPORTANT: [Summary Of Areas Requiring Further Evaluation](#) is provided to allow the reader a brief overview of the report. These pages are not all encompassing, and is not a substitute for reading the report in its entirety. The entire Inspection Report, including the Standards of Practice, Limitations and Scope of Inspection, and the Inspection Agreement must be carefully read to fully assess the findings of the property inspection. This list of concerns is not intended to determine which items may need to be addressed per the contractual requirements of the sale of the property. Any areas of uncertainty regarding the contract should be clarified by consulting an attorney or real estate agent.

The inspection was not technically exhaustive and items listed may be outside the area of the inspectors expertise or the scope of the inspection. It is strongly recommended that you contact the appropriate qualified and/or licensed specialist for further evaluation of items mentioned and actual cost of repair or replacement. Please call our office for any clarification or questions concerning the property inspection. Thank you for selecting NATIONAL HOME INSPECTION SERVICE INC. to perform your inspection.

Respectfully,
National Home Inspection Service Inc.

Kevin R. Metzger
(614) 755-9922
nhisohio@aol.com

INSPECTION INFORMATION

FILE INFORMATION:

CLIENT FILE #: [REDACTED]
DATE: [REDACTED].
TIME: 11:00 AM.
WEATHER: Partly Cloudy.
TEMPERATURE: 76-80 F.
PROPERTY: [REDACTED].
CLIENT NAME: [REDACTED].
CLIENT ADDRESS: [REDACTED].
[CLIENT E-MAIL:](#) [REDACTED]

ORDER INFORMATION:

PLACED BY: [REDACTED].
TAKEN BY: Mary Louise Metzger.
SELLING AGENT: ,
LISTING AGENT: ,
INSPECT TYPE: Pre-Purchase Inspection.

PROPERTY INFORMATION:

TYPE OR STYLE: Single Family, Five Level Split Floor Plan.
CONDITON Occupied.
APPROX AGE: 2007.
APPROX SIZE: 2924 sf.
UTILITIES: Utilities On.

SITE CONDITIONS

Inspector Notes: This inspection is not intended to address or include any geological conditions or site stability information. A geologist or soils engineer should be consulted for further information concerning geological conditions. This inspection is visual in nature and does not attempt to determine the performance of any underground system, including but not limited to, drainage system, public sewer and water piping, septic and well system, sprinkler system, and utility cables. Roof and surface water must be controlled to maintain a dry basement. This means keeping gutters cleaned out and aligned, extending downspouts, installing splash blocks, cleaning drainpipes, and building up the grade around the foundation walls so that roof and surface water are diverted away from the building. Decks and porches are not always visible. Decks and porches are often built close to the ground or have obstructed views with no access. These areas as well as others are too low to enter and are excluded from the inspection and not addressed in the report. It is recommended that inquiry be made with the owner about knowledge of any prior foundation or structural problems. Concrete sidewalks and driveways that have cracks, spalling, or become uneven cannot always be patched. Concrete patch usually will not bond with the old concrete and replacement of the damaged section is recommended.

DRIVEWAY:

TYPE:



Asphalt.

COMMENTS:

The homes driveway has typical stress cracks due to age and/or ground settlement or movement.

SIDEWALK:

TYPE:

Concrete.

SERVICEWALK:

TYPE:

Concrete.

WINDOW WELLS:

TYPE:

Metal.

RETAINING WALLS/BEDS:

TYPE:

Landscaping Bed Walls.

GRADING:

COMMENTS:



Recommend maintaining the grade around the homes exterior foundation by maintaining a minimum slope of at least one inch per foot drop extending out at least five feet from the foundation to prevent unwanted moisture related problems, such as; wood rot, mold, mildew, fungi, unwanted insect activity, wet basements and crawl spaces, unwanted hydrostatic ground pressure that could cause structural damage to the homes foundation walls.

NOTE: Maintaining the grade around the homes foundation is probably the single most important thing you can do to help prevent future moisture related problems.

LANDSCAPING:

COMMENTS:



The visible areas of the landscaping beds were cut back from structure. Recommend maintaining trees and vegetation to prevent damage to roof structure and insect activity.

PATIO/TERRACE:

TYPE:



Concrete.

COMMENTS:

The homes patio has typical stress cracks due to ground settlement or movement.

PORCH/AREAWAY:

TYPE:



Front.

STEPS/STOOPS:

TYPES:

Concrete. Wood.

COMMENTS:



The rear wood stairs had a moisture damage board where the stairs attach the home (under the door) and will need professionally repaired as required. Recommend contacting a qualified specialist for

further evaluation and recommendation and actual cost of repair or replacement.

REMARKS:

INSPECTOR NOTES: Read Inspector Notes for additional information and limitations of the inspection.

EXTERIOR - FOUNDATION - BASEMENT

Inspector Notes: Areas hidden from view by finished floors and walls or stored items cannot be judged and are not part of this inspection. Minor or Typical Block Foundation Cracks (1/8 inch or less in width with minor wall movement with no moisture intrusion) are typical in many foundations and most do not represent a structural problem; however, If block foundation cracks become larger (1/8-1/4 inch with noticeable wall movement and/or moisture stains) contact a professional home inspector or foundation specialist for further evaluation. Extensive Block Foundation Cracks (1/4 inch or more in width with extensive wall movement more than 1-3/8" and/or moisture intrusion) the wall should be evaluated by a licensed and qualified structural engineer. Poured Concrete Foundation Vertical Cracks are a natural phenomenon due to concrete is strong in compression but weak in tension. When stress is exerted on a concrete element, the portions that are placed in tension are susceptible to cracking. These forces include shrinkage, temperature change, lateral pressure from soil, settlement, and point loads from structural elements. One common remedial action for poured foundation cracks is the use of an epoxy injection system that will adhere to the side of the cracks and actually may strengthen the wall and prevent moisture intrusion which will can cause the interior steel to weaken. Recommend a Professional Contractor or a Structural Engineer familiar with poured concrete walls determine the if repair is necessary. Poured Concrete floor slabs that have cracks (1/4 inch and/or becomes uneven) will also require further evaluation. Signs of Past and/or Present Foundation Dampness can not always be detected due to hidden areas and dry periods prior to the inspection. To prevent moisture from entering the foundation it is recommended that all grading around the foundation allow for surface and roof water to flow away by maintaining a grade with a minimum of one inch per foot drop extending out at least 5 feet from the foundation. Failure to control surface and roof water will usually result in a wet basement. The inspection does not address or judge the presence of wet or dry rot, water, mold, fungi, bacteria and other airborne hazards and no inspection is made to detect past or present insect boring activity or damage from hidden wood rot. It is also important to prevent cracks from forming in exterior stucco surfaces. Synthetic Stucco known as EIFS stands for Exterior Insulated Finishing Systems and has a history of moisture penetration problems and will require a EIFS specialist for further evaluation and recommendations prior to settlement.

WALL COVERING:

TYPE:



Masonry Stucco. Cultured Stone Veneer.

TRIM MATERIAL:

TYPE:



Composite Board.

COMMENTS:



The composite trim under the gutter on the rear of the home had moisture damage that will need professionally repaired. Recommend contacting a qualified exterior trim specialist for further

evaluation and recommendations and actual cost of repair or replacement.

SOFFITS & FASCIAS:

TYPE: **Composite Board.**

DOORS:

TYPE:



Steel.

WINDOWS:

TYPE:



Single Hung. Vinyl. Fixed.

INSECTS:

COMMENTS:

The visible areas of the home was not inspected or judged for wood destroying insects and is not part of the inspection or report and no representations are made concerning wood destroying insects. The inspection and report does not address the presence or absence of wood destroying insects unless set-out by separate agreement at an additional cost. Recommend having a state licensed "wood destroying insect" inspector inspect the property and provide a written report as to the condition of the property prior to settlement.

CRITTERS:

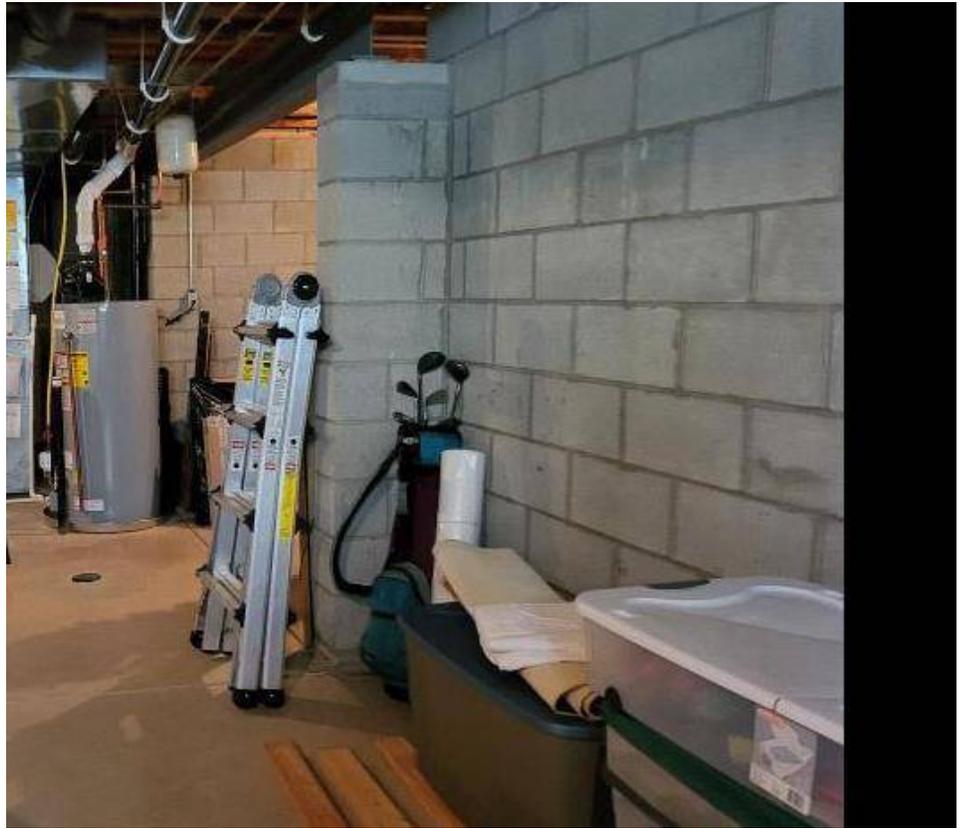
COMMENTS:

The home inspection and report does not address the presence or absence of critter infestations unless set-out by separate agreement at an additional cost. Recommend contacting a state licensed "critter control specialist" to inspect the

property and provide a written report as to the condition of the property prior to settlement.

FOUNDATION WALL:

TYPE:



Block.

BEAMS:

TYPE:



Microlam.

POST/COLUMNS:

TYPE:

Steel Post.

FLOOR JOISTS:

TYPES:



TJI Silent Floor System.

RADON TEST:

EPA RADON TEST:

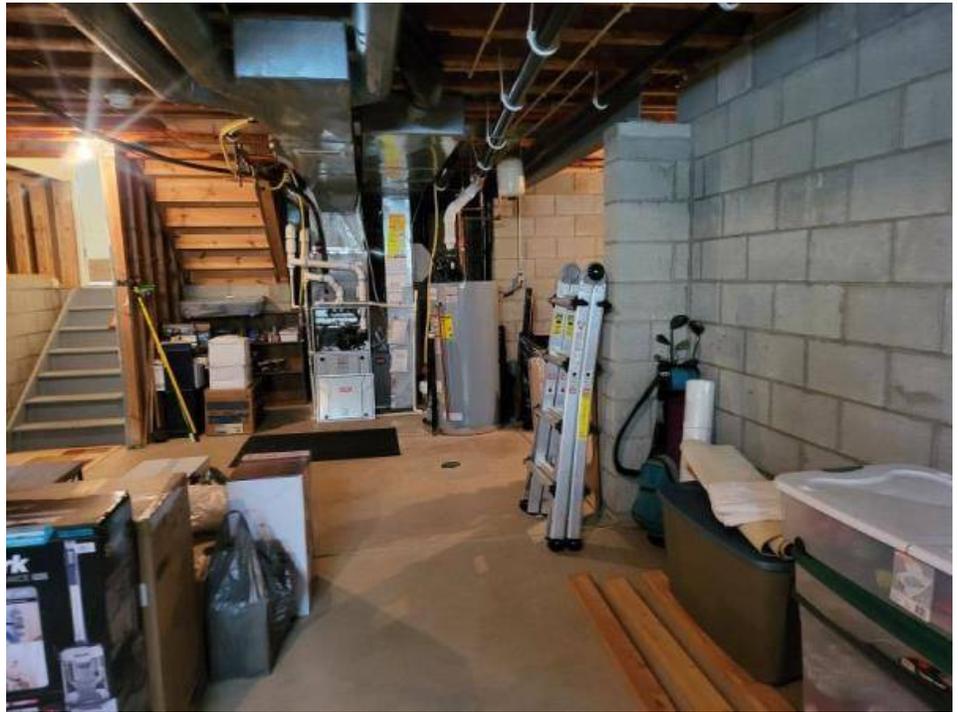
The home inspection and report does not include a Radon Gas Test unless set-out by separate agreement at an additional cost. Radon Gas is a natural, radioactive gas that migrates from the ground into buildings and prolonged exposure to high levels of this gas can put the occupant at a high risk of lung cancer. Radon Gas is a serious health threat in workplaces, schools, and especially homes and high radon levels should be mitigated.

Recommend contacting a State Licensed Radon Tester to conduct a US EPA Protocol Test to determine the level of radon gas in the home.

NOTE: Contact the Ohio Department of Health's website <http://www.eng.utoledo.edu/aprg/radon/> for additional information. See Inspector Notes for additional information and limitations of the inspection.

BASEMENT:

TYPE:



Partial Basement.

WALL-CEILING



The basement ceilings and walls were generally open.

FLOOR:



Concrete Slab. Typical Concrete Stress Cracks.

WINDOWS:



Glass Block.

FLOOR DRAIN:



Not Tested.

STAIRS:

The basement stairways steps, handrail and side-walls/rails were serviceable the day of inspection.

SUMP PUMP:



Sump Pump Tested (Motor Operated).

DAMPNESS:

The visual inspection of the basement did not reveal any active moisture intrusion the day of inspection. See Inspector Notes for further information and limitations of basement inspections.

CRAWL SPACE:

TYPE:



The crawl space area was "generally open" except for mechanical systems.

ACCESSIBILITY:



The homes crawl space was "generally accessible" except where mechanical systems (heating/cooling, plumbing, electrical systems) obstructed the view.

WALLS:



The homes crawl spaces walls, rim joists and sill plates were insulated and covered-up and not inspected or judged.

CEILING:



The homes crawl space ceilings were "generally open" except where mechanical systems (heating/cooling, plumbing, electrical systems) obstructed the view.



FLOOR:



The homes crawl space floor was graveled. The homes crawl space floor had a vapor barrier.

DAMPNESS:

All crawl spaces are subject to moisture related issues due to "open floor areas" that allows moisture and other related contaminates to "stack up" and contaminate the air. Crawl spaces are considered "non living areas" and are not always climate controlled and are subject to high humidity levels which can create unhealthy conditions that need to be controlled. Recommended monitoring and maintaining the crawl space by removing any trash and/or debris and install a heavy 6 mill plastic vapor barrier on top of the crawl space floor and rolled-up and sealed (silicone) onto the foundation wall to prevent unwanted moisture related problems such as moisture ,mold, mildew, fungi, radon and other related unhealthy issues.

VENTILATION:

The primary source of ventilation in the crawl space was from inside air flow.

REMARKS:

INSPECTOR NOTES:

Read Inspector Notes for further information and limitations of the inspection.

GARAGE - CARPORT

Inspector Notes: The home inspector does not determine the heat resistance of firewalls and storing flammable materials in the garage is a safety hazard. Suggest maintaining a fire extinguisher in the garage for safety. Recommended the garage door opener's safety stops be tested and adjusted for proper operation.

GARAGE/CARPORT:

TYPE:



Attached.

SIZE:



3 Car.

ROOF:

Same As House. See ROOF Section for information.

CEILING:



Enclosed.

WINDOWS:

None Observed.

WALLS:



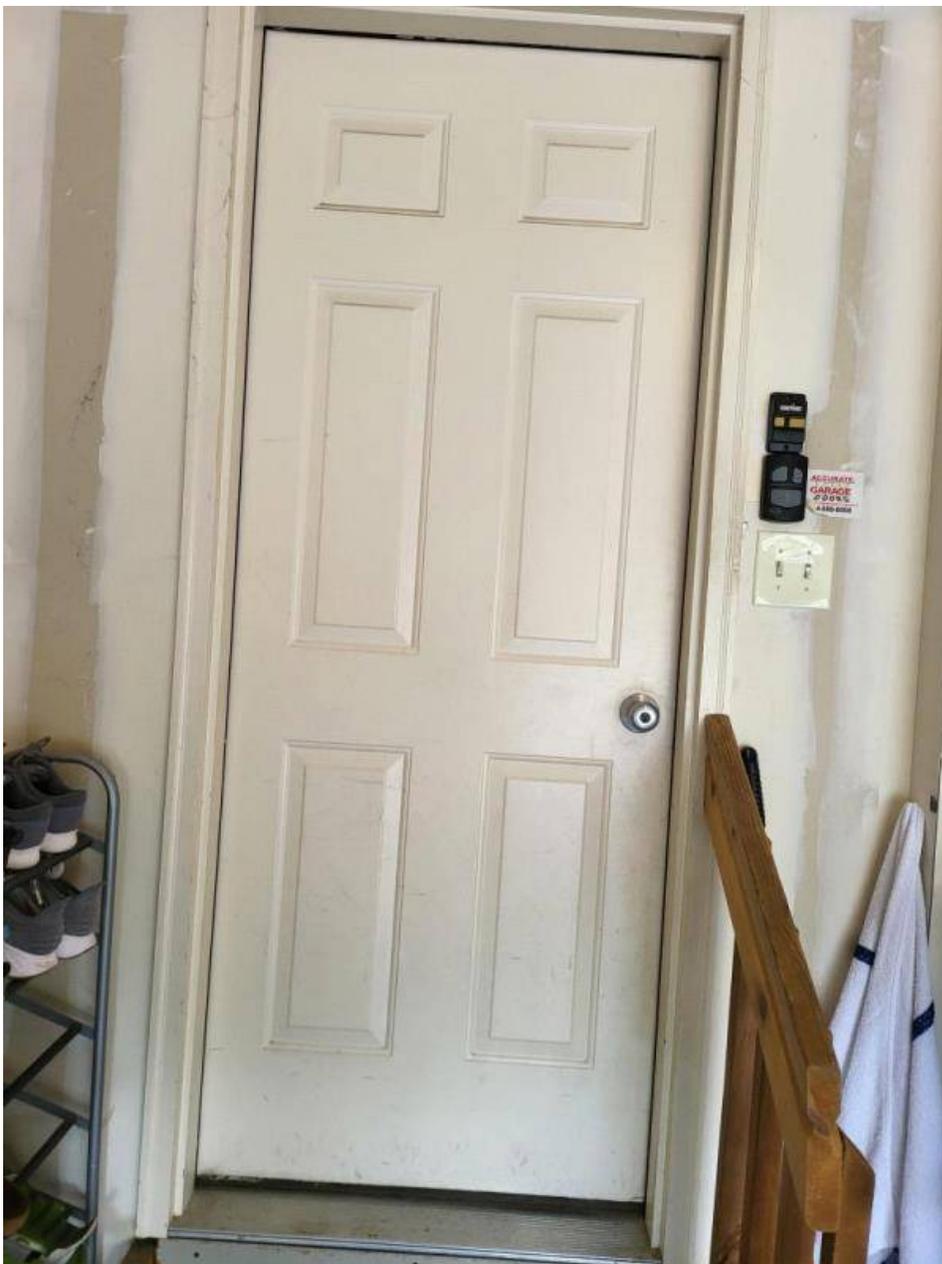
Partially Enclosed. Bench and Shelving. Extensive Storage. Tools and Equipment. Cluttered Conditions.

FLOOR:



Concrete Slab. The garages concrete floor has typical stress cracks. Lawn Equipment. Extensive Storage. Tools and Equipment. The garage floor was not all visible and could not be fully inspected. *The garages concrete floor has surface spalling or scaling due to winter road salt.*

ENTRY-DOOR:



Steel.

SERVICE DOOR:

None Observed.

STAIRS-STEPS:



Wood.

GARAGE DOORS:



Metal.

DOOR OPENER:



The garage door opener operated when tested.

SAFETY STOPS:



The garage doors "safety stops" were operational the day of inspection.

INSECTS:

The inspection and report does not address the presence or absence of wood destroying insects unless set-out by separate agreement at an additional cost. Recommend contacting a state licensed "wood destroying insect inspector" to inspect the property and provide a written report as to the condition of the property prior to settlement.

CRITTERS:

The inspection and report does not address the presence or absence of critter infestations unless set-out by separate agreement at an additional cost. Recommend contacting a state licensed "critter control specialist" to inspect the property and provide a written report as to the condition of the

REMARKS:

***property prior to settlement.
Read Inspector Notes for further information and
limitations of the inspection.***

INTERIOR - WINDOWS - FIREPLACE

Inspector Notes: The condition of walls behind wall coverings, paneling, and furnishings cannot be judged and are not part of this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or other like conditions is not part of this inspection. The condition of floor coverings under furnishings and underlying floor coverings are hidden and cannot be judged and are not part of this inspection. Suggest touring the home after furnishings have been removed or check with the owner concerning hidden areas. The condition of windows cannot always be determined due to temperature, weather, and lighting conditions. Windows should be cleaned and maintained for smooth operation. Fireplaces should be cleaned and inspected on a regular basis for safety. The inspector does not test or offer an opinion or warranty as to whether the fireplace is in good working condition. It is recommended that a professional fireplace specialist clean and inspect the fireplace and use a video camera to determine the internal condition of the chimney.

FLOORS:

TYPE:



Wall-To-Wall Carpet. Hardwood Flooring. Wood Planking. Area Floor Rugs.

WALLS:

TYPE:



Drywall.

COMMENTS:



The homes drywalled walls have typical stress cracks from settlement or movement.

CEILINGS:

TYPE:



Drywall. Textured.

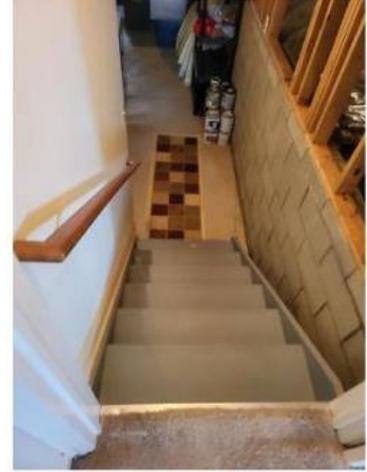
COMMENTS:



The homes ceilings have typical nail pops from settlement or movement. The homes drywalled

ceilings have typical stress cracks due to settlement or movement.

STAIRS:
TYPE:



Primary Interior Stairway. Secondary Interior Stairway. Lower Level Stairway.

WINDOWS:
TYPE:



Single Hung. Vinyl.

COMMENTS:

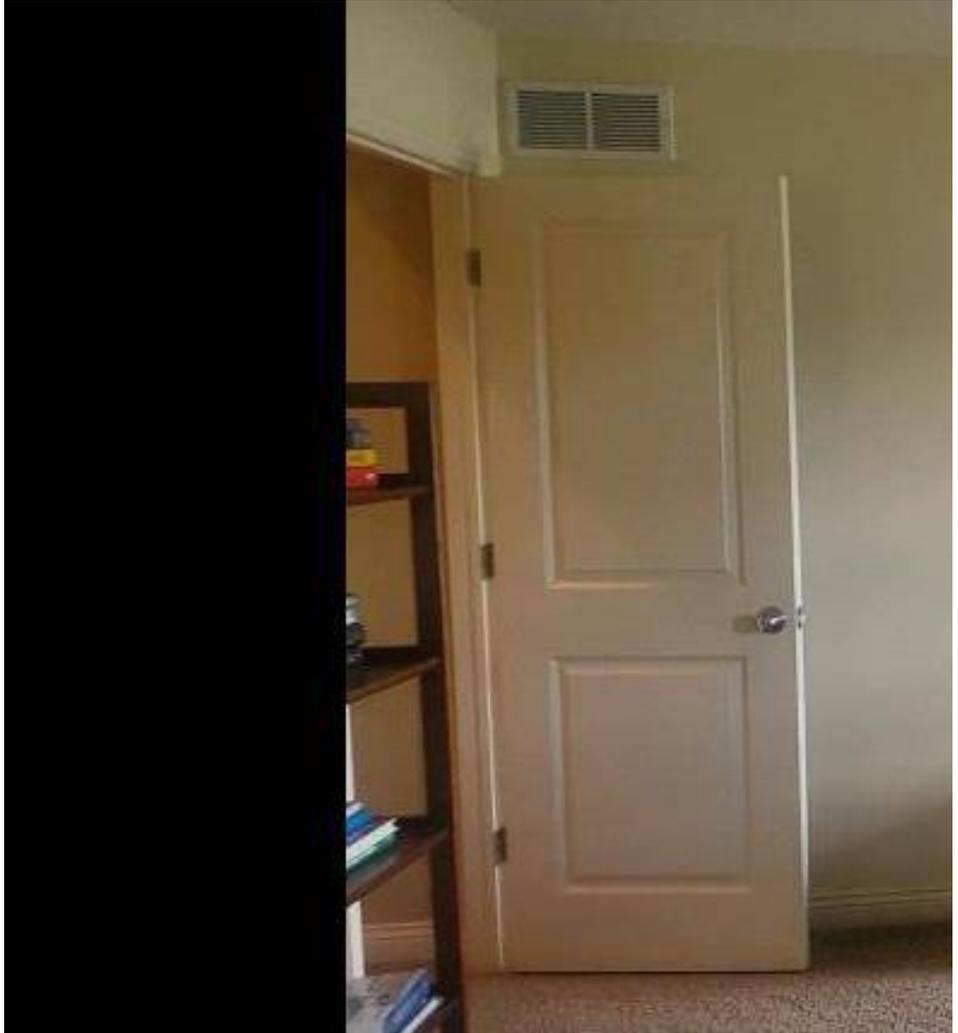


The dinette side, master bedroom left, right guest bedroom and left windows have visible broken seals (moisture between panes of glass) and will need further evaluation. Recommend contacting a qualified glass specialist to determine the exact "number of windows" that will need repair or replacement.



DOORS:

TYPE:



Wood. Hollow Core.

TRIM:

TYPE:



Wood.

FIREPLACES:

TYPE:



The fireplace inspection revealed a "enclosed gas log system" that was vented out the side of the home. The home inspector is not qualified to judge or give an opinion concerning the operation and/or

COMMENTS:

the fire-safety requirements of this "vented or ventless gas log systems". All "vented or ventless" gas log systems should be UL Approved (Underwriters Laboratory) and only be operated in accordance with manufacturers Operating Manual.

The visible areas of the homes fireplace were inspected; however, the home inspector is not qualified to judge or give an opinion concerning the internal condition of the chimney's components, including but not limited to, wood burning stoves, flue liners, smoke chambers, fireboxes, dampers, vented or ventless gas log systems and other related equipment, and is not part of this inspection or report. Recommend having a qualified chimney specialist clean and inspect using a video camera to determine the internal condition of the chimneys metal vent or flue pipe prior to use for fire-safety.

NOTE: The State of Ohio Fire Marshal does not require that chimneys/fireplaces be professionally inspected prior to "transfer or sale of property" leaving the home buyer at a high risk for unknown internal problems not visible during a home inspection; such as, chimney fires, moisture damage, settlement cracks and movement that could render the fireplace unsafe for use and require expensive repairs

See EXTERIOR CHIMNEY section for additional information.

REMARKS:

INSPECTOR NOTES:

Read Inspector Notes for further information and limitations of the inspection.

KITCHEN - APPLIANCES - LAUNDRY

Inspector Notes: Kitchen appliances are not tested for "adequacy or accuracy of function" other than to determine whether they are operating. No opinion is offered concerning the operation of microwave, trash compactor, refrigerator, disposal, dishwasher, exhaust fan, range, oven self or continuous cleaning operation, cooking functions, clock or timing devices, light, or thermostat accuracy. Clothes washing machines and dryers cannot be inspected properly without a load of laundry and are not part of this inspection and are not part of this inspection or report. Laundry appliances are not moved during the inspection and the condition of dryer vents and/or any hidden items; such as, walls, vents or floor coverings are not inspected or judged. Drain lines and water supply valves serving washing machines are not operated and may be subject to leakage. The following are approximate life expectancies based on national averages and are subject to manufacturer defects and other variables. Dishwasher and disposal have a normal life of 5 to 12 years. Ranges, Ovens, and Refrigerators have a normal life of 15 to 20 years. Clothes Washer and Dryer have a normal life of 6 to 12 years.

KITCHEN:

CABINETS:



Wood.

COUNTERTOPS:



Laminate.

FLOORING:



***Hardwood. Wood Plank.
Adequate Electrical Service.***

OUTLETS:

COMMENTS:



The visible area(s) of the kitchen were inspected and appeared functioning as intended except for comments-made and normal wear and tear.

APPLIANCES:

SINK DISPOSAL:



The kitchen's "sink disposal" was "operational" when tested. Recommend obtaining the appliance's

"operating manuals" prior to use.

SINK FIXTURES



The kitchen sink fixture was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating manuals" prior to use.

DISHWASHER:



The kitchen dishwasher was "operational" but not tested for "adequacy or accuracy of function".

Recommend obtaining the appliance's "operating manuals" prior to use.

MICROWAVE:

The kitchen's microwave was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating manuals" prior to use.

REFRIGERATOR:



The kitchen refrigerator was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating manuals" prior to use. Ice Maker. Ice Crusher. Cold Water Dispenser.

RANGE TOP:



The kitchen's range top was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating manuals" prior to use. Electric.

OVEN:



The kitchen's oven was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating

manuals" prior to use. Electric.

VENTILATION:



The kitchen's ventilation system was "operational" but not tested for "adequacy or accuracy of function". Recommend obtaining the appliance's "operating manuals" prior to use.

LAUNDRY:

WASHER & DRYER:

The homes Laundry Room Washing Machine and Dryer and related equipment were not tested or judged and is not part of this inspection or report; including, but not limited to the electrical service to the equipment or wall outlets, gas line piping and hook-ups, plumbing supply and waste lines and/or vent pipes and drain hoses, exhaust vent systems, water supply fixtures and valve connectors. It is highly recommended that you obtain the appliance's "operating manuals" prior to use to prevent unwanted damage to existing or new equipment. NOTE: It is not uncommon for laundry room mechanical systems (electric-water-connectors) to require updating prior to use for safety.

TUB-SINK:



The laundry tub-sinks plumbing fixtures were "operational" when tested.

REMARKS:

INSPECTOR NOTES:

Read Inspector Notes for further information and limitations of the inspection.

PLUMBING SYSTEMS

Inspector Notes: This inspection is visual in nature and does not attempt to determine the performance of any underground piping system, including but not limited to, public sewer and water piping, private septic and well system, gas piping, sprinkler system, and all related piping systems. The visual inspection cannot detect leakage or corrosion in underground piping. Piping systems are not pressure tested and is beyond the scope of this inspection. Examination of wells is not included in this visual inspection. It is recommended that the well water be checked for purity and flow by the local health authorities or other qualified experts. Examination of septic systems is not included in our visual inspection. It is recommended that septic systems be checked by local health authorities or other qualified experts. Galvanized supply and waste pipes rust from the inside out and may need to be replaced. Galvanized water pipes usually need replaced within 20 to 30 years of original installation. Galvanized piping that is not replaced can result in reduced water flow and clogged fixtures and waste lines. It is recommended that local water authorities pressure test the main water service pipe into the home for possible leakage and adequate flow. Hot water tanks have a normal life expectancy of 8 to 12 years. Electric hot water tanks may require replacing heating elements prior to the end of life expectancy. Hot water heaters generally are not replaced unless they leak. Exterior hose bibbs should be turned off in the winter months. Hose bibbs that are turned off cannot be tested and are not part of this inspection. Bathroom ceramic tile is installed in mortar or mastic and requires that joints remain caulked/sealed to prevent water from leaking through and damaging wall, ceiling, and floors. Metal floor shower pans may only leak when being used (weight of person in shower) and cannot be judged during the visual inspection. Metal shower pans have a probable life of 8 to 10 years.

FUEL SERVICE:

TYPE: **Public Gas System.**

ENTRY PIPE: **Black Steel Pipe.**

MAIN SHUTOFF: **Exterior Meter.**

LEAKS: **The home inspector does not test or judge the homes internal or underground gas line piping. The use of special instruments or testing devices such as gas detectors and similar equipment is not used unless set-out by separate agreement at an additional cost. Recommend obtaining a "gas line warranty" from a licensed private insurance company that covers both internal and underground gas line piping. Gas line warranties can also be obtained from your local "natural gas provider" for a small charge on your monthly gas bill. Recommend contacting your local "natural gas provider" for the details of coverage.**

WATER SERVICE:

TYPE: **Public Metered System.**

ENTRY PIPE:



Plastic.

MAIN SHUTOFF:



Basement.

H2O EQUIPMENT:



The home has water expansion tank that was not tested or judged and is not part of this inspection. Recommend contacting current owner for operating manuals/information and name of contractor servicing the equipment.

LEAKS:

There were no visible plumbing leaks in the home the day of inspection. The inspection and report does not address the inaccessible areas of the plumbing system or underground water lines. Recommend obtaining a "water line warranty" from a licensed private insurance company that covers both internal and underground water line piping. Water line warranties can usually be obtained from your local "water provider" for a small charge on your monthly utility bill. Recommend contacting your local "water provider" for the details of coverage.

SUPPLY LINES:

MATERIAL:



Copper Supply Lines.

WATER FLOW:

The homes water supply appeared to have "adequate flow" the day of inspection when multiple plumbing fixtures were operated at the same time. The homes "water pressure" was not tested and is a function of the water source which is beyond the scope of this inspection.

CROSS LINES:

The plumbing inspection did not reveal any "crossed lines" the day of inspection.

FIXTURES:

The homes water fixtures operating as intended when tested the day of inspection.

HOSE BIBBS / SILLCOCK:

The homes exterior water faucets (hose-bibbs) were tested and operating the day of inspection.

LEAKS:

There were no visible plumbing leaks in the home the day of inspection. The inspection and report does not address the inaccessible areas of the plumbing system or underground water lines. Recommend obtaining a "water line warranty" from a licensed private insurance company that covers both internal and underground water line piping. Water line warranties can usually be obtained from your local "water provider" for a small charge on your monthly utility bill. Recommend contacting your local "water provider" for the details of

coverage.

WASTELINES:

TYPE:



Public Sewer System.

MATERIAL:



Plastic.

WASTE FLOW:



The hall bathroom sink & tub and master bathroom

tub tested "slow-drain" the day of inspection and will need the drain-stopper adjusted and/or wasteline cleared as required for adequate drainage.



LEAKS:

There were no visible wasteline leaks in the home the day of inspection. The inspection and report does not address the inaccessible areas of the plumbing system or underground water lines. Recommend obtaining a "sewer line warranty" from a licensed private insurance company that covers both internal and underground waste line piping. Wasteline warranties can usually be obtained from your local "utility provider" for a small charge on your monthly utility bill. Recommend contacting your local "utility provider" for the details of

coverage.

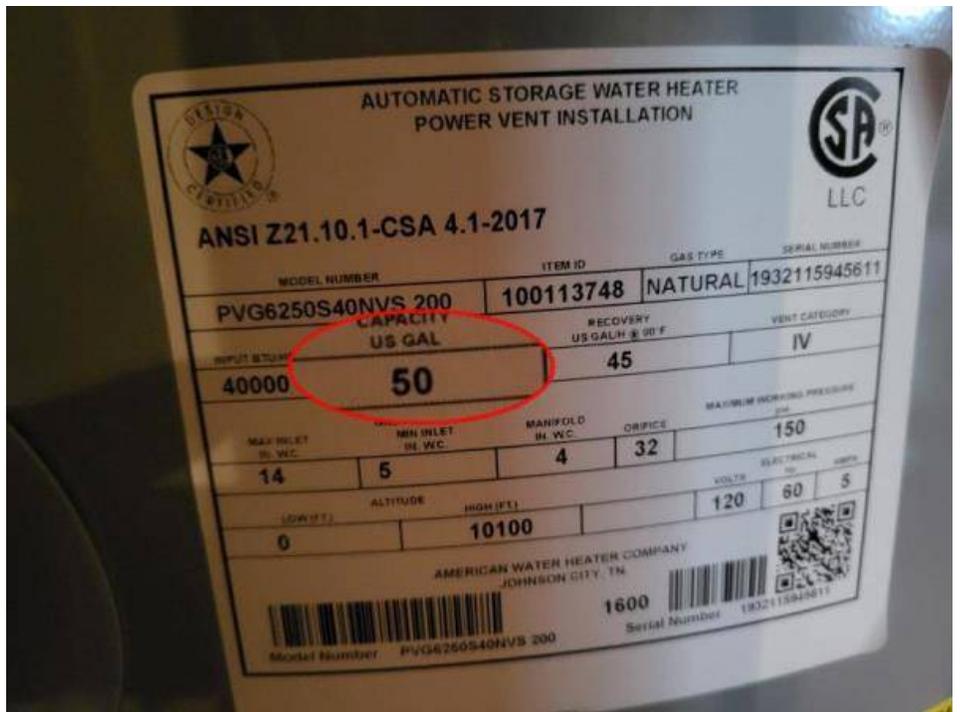
WATER HEATER:

TYPE:



Gas Fired Burner.

SIZE:



The homes hot water tank has a "thermal-blanket" and unit could not be fully inspected or judged and should be removed for safety. 50 Gallons.

LOCATION:



Basement or Lower Level.

AGE:



The homes hot water tank has a "thermal-blanket" and unit could not be fully inspected or judged and should be removed for safety.

LEAKS:

None Observed.

BATHROOMS:

GUEST:



Commode. Sink. Vanity. Fan. Floor: Wood.

HALL:



Commode. Sink. Vanity. Fan. Floors: Ceramic. Built In Tub. Fiberglass.

MASTER:



**Commode. Sink. Vanity. Window. Fan. Floor:
Ceramic. Built In Tub. Fiberglass. Stall Shower.
Cultured Marble.**

COMMENTS:



The upstairs hall bathroom commode is, The visible area(s) of the bathrooms were inspected and appeared functioning as intended except for comments-made and normal wear and tear. See Plumbing Fixtures for additional information. extremely loose and will need professionally secured as required to prevent future damage.

HEATING AND COOLING SYSTEMS

Inspector Notes: Furnace heat exchangers are hidden from view and cannot be fully examined without being disassembled. This is not possible during a visual inspection and it is recommended that a service contract be placed on the HVAC system and a service call be made to determine the condition of the HVAC system prior to settlement. Gas, oil, and electric furnaces have a normal life expectancy of 15 to 20 years. Air conditioning systems cannot be tested if outside temperature has not been at least 60 degrees over the past 24 hours. Air conditioning systems cannot be tested under 60 degrees without the possibility of damaging the compressor. Air conditioning compressors have a normal life expectancy of 8 to 15 years. Furnace air filters should be changed every 30 to 60 days to provide proper air circulation throughout the house and help protect the heating and cooling system. Electronic air filters are not tested other than to determine if they are operating. Heat pumps cannot be tested on the heat cycle if the outside temperature has been over 60 degrees within the past 24 hours. Heat pumps have a normal life expectancy of 6 to 12 years. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

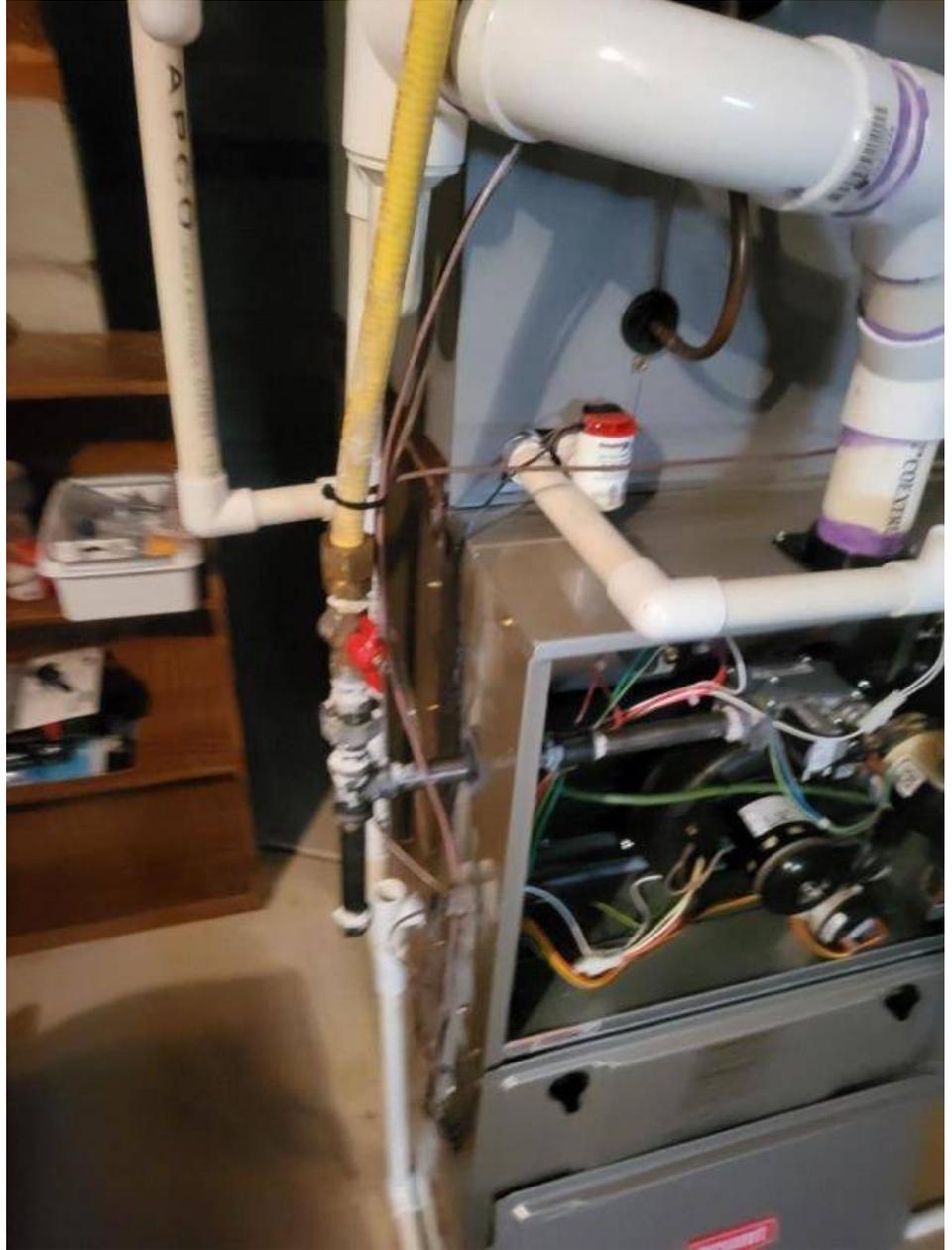
HEATING SYSTEM:

LOCATION:



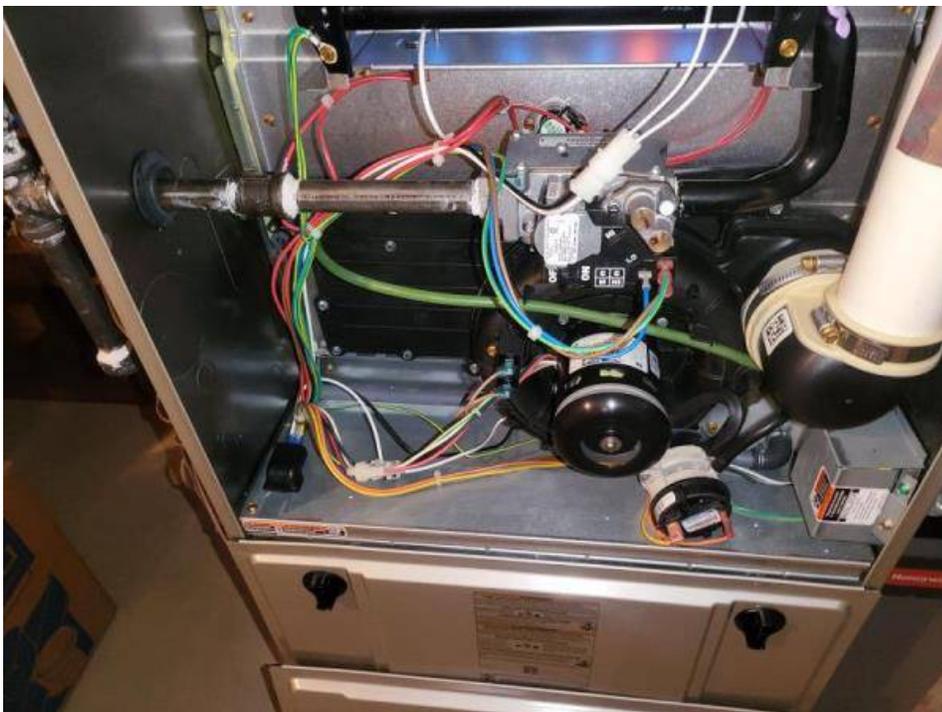
Basement Area.

FUEL TYPE:



Public Gas.

FUEL SOURCE:



Public Gas Supply.

VENT SYSTEM:



Plastic Pipe Vent.

SYSTEM TYPE:



The home has a High Efficiency (90%+) gas fired forced air heating system with ductwork.

NO. 1 CAPACITY:



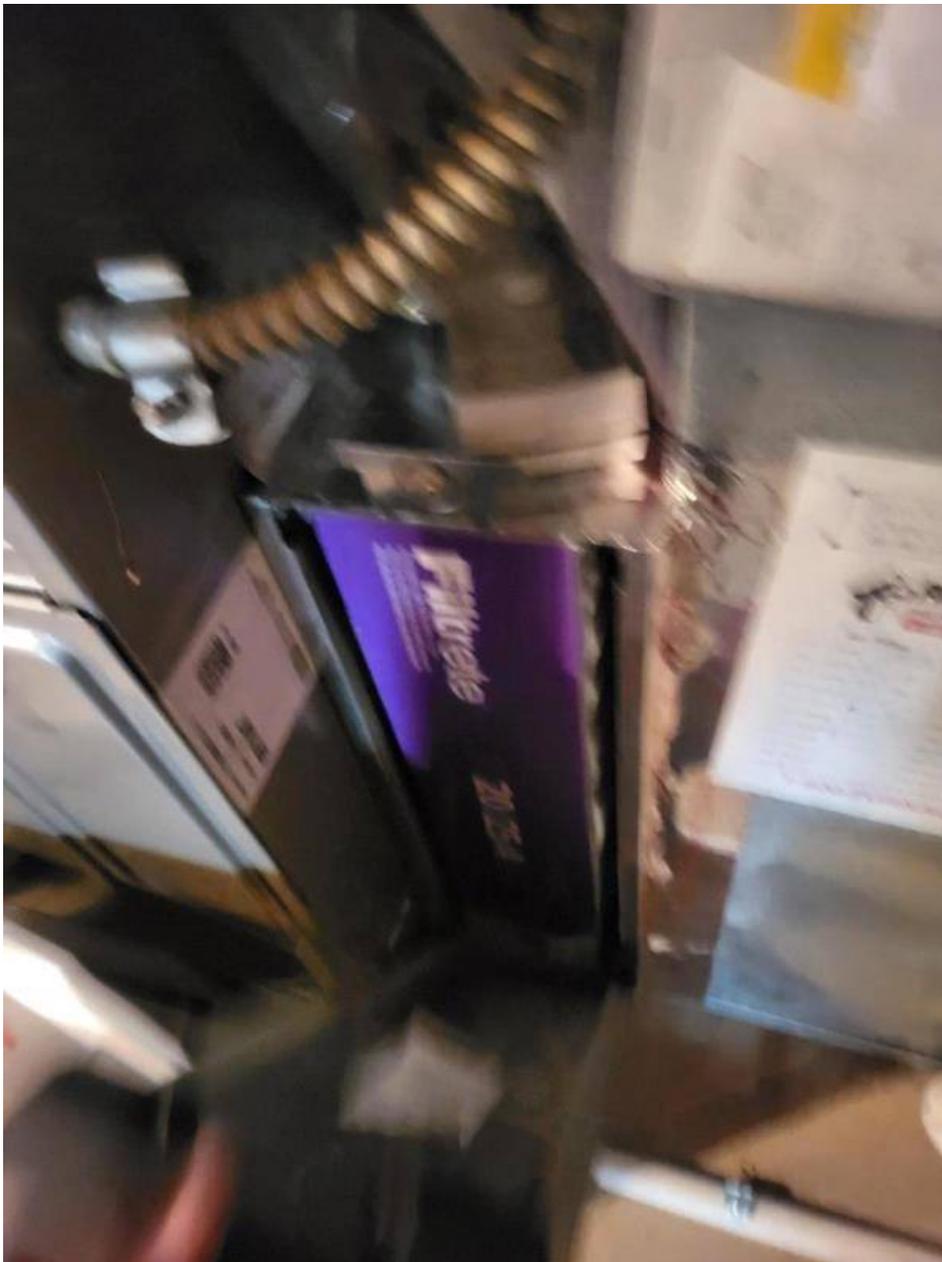
80 K BTU.

NO. 1 AGE:



2019.

FILTER:



Disposable Filter.

CONDENSATION:



Condensation Line.

HUMIDIFIER:

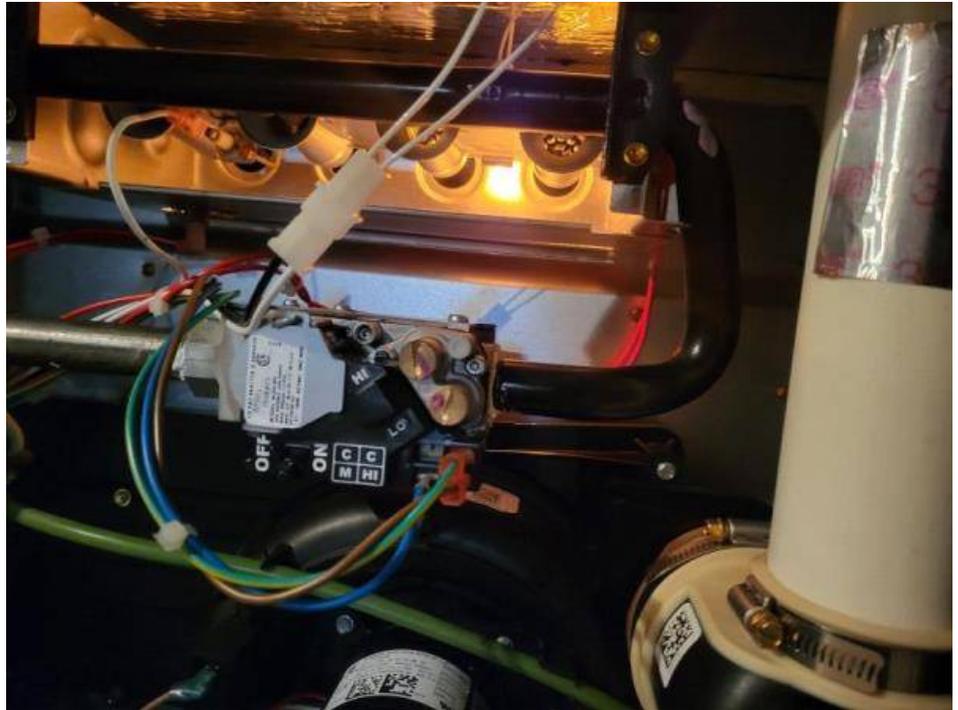
None Observed.

THERMOSTAT:



The homes primary heating system responded to the thermostat when tested but was not checked for "adequacy or accuracy of function".

EXCHANGER:



The furnaces heat exchanger area was not fully accessible without dismantling the unit. The home inspector is not licensed or qualified to remove components during a visual inspection. Recommend having a licensed and qualified HVAC contractor clean and service the system prior to use for safety and efficiency and obtain a Service Contract with a licensed and qualified HVAC contractor to extend life expectancy.

DISTRIBUTION:



Duct Work.

HEAT SOURCE:



All living areas (not all rooms) of the home appear to have a heat source. The home inspector cannot judge the adequacy of the HVAC system due to the short time period of the inspection and outside weather conditions. After living in the home it may be necessary to have the HVAC system balanced-out

or supplemental systems installed based on your specific heating and cooling needs. NOTE: Recommend contacting a qualified specialist and balance-out the HVAC system for efficiency and economic savings.

SECONDARY HEAT: The home inspection did not reveal any secondary heat sources in the living areas.

COOLING SYSTEM:

FUEL TYPE: Electric Compressor.

SYSTEM TYPE: Central Air.

NO. 1 CAPACITY: 3 Ton.

NO. 1 AGE: 2006.

THERMOSTAT:



The homes cooling system responded to normal controls (thermostat) and had change in temperature within normal the normal (15-21 degrees) operating range; however, the system was not checked for "adequacy or accuracy of function". Recommend having a licensed and qualified HVAC contractor clean and service the system prior to use for safety and efficiency. Also recommend maintaining a service contract with a licensed and qualified HVAC contractor.

DISTRIBUTION: Ductwork.

COOLING SOURCE: *All living areas (not all rooms) of the home appear to have a Cooling source. The home inspector cannot judge the adequacy of the HVAC system due to the short time period of the inspection and outside weather conditions. After living in the home it may be necessary to have the HVAC system balanced-out or supplemental systems installed based on your specific heating and cooling needs.*

NOTE: *Recommend contacting a qualified specialist and balance-out the HVAC system for efficiency and economic savings.*

A/C COMPRESSOR: *Exterior Compressor.*

AUXILIARY EQUIPMENT:

FANS & VENTS: *Visible areas of the exhaust fans and vents appeared serviceable for age and general usefulness.*

WHOLE-HOUSE FAN: *None Observed.*

GARAGE HEATER: *None Observed.*

REMARKS:

INSPECTOR NOTES: *Read Inspector Notes for further information and limitations of the inspection.*

ROOF SYSTEM

Inspector Notes: The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many roofs are hazardous to walk on and in most cases can be satisfactorily inspected from the ground with or without binoculars or from windows. A roof which is stated "appears serviceable" means that the roof is "serviceable" within the normal limits of its normal life expectancy. The following are approximate life expectancies based on national averages and are subject to manufacturer defects and other variables. In cold and temperate climates composition roof shingles (asphalt and fiberglass) have a normal life expectancy of 15 to 20 years. Selvage or asphalt roll roofing 5 to 10 years. Four-ply built-up roofs 15 to 20 years if they drain properly. Wood Shingles 15 to 25 years. Wood Shakes 15 to 25 years. Slate roofs 30 to 75 years. Asbestos cement shingles 30 to 50 years. Single Ply Membrane 10 to 20 years. Metal Roofing 15 to 25 years. Attic inspection is usually limited to scuttle hole openings. Attic visibility is often limited when insulation thickness obstructs view of floor supports, when attic areas are not floored or accessible, or when height is too low for the inspectors safety. Most visible attics can be satisfactorily inspected from openings with a high powered light.

EXPOSED ROOF:

WEATHER:



Partly Cloudy.

ACCESSIBILITY:



Ground.

STYLE:



Gable.

TYPE:



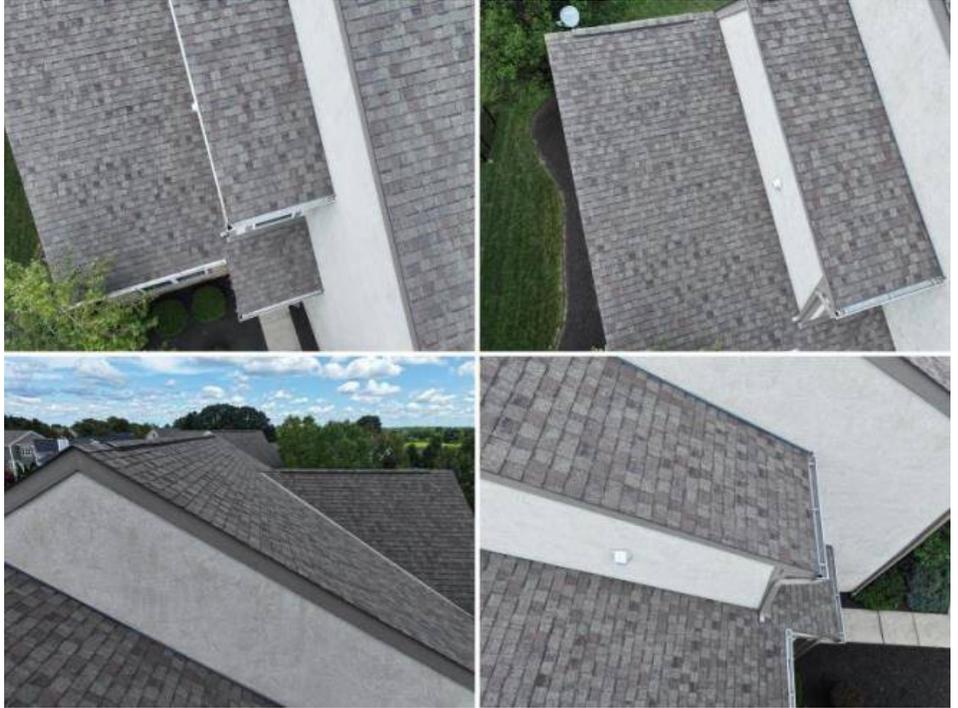
Fiberglass Backed Asphalt Shingles.

APPROX AGE:



5-10 Years.

LEAKAGE:



The roof system had no visible roof or flashing leaks the day of inspection.

EXPOSED FLASHINGS:

TYPE:



Aluminum.

GUTTER/DOWNSPOUT:

TYPE:

Formed Aluminum.

ATTIC SYSTEM:

ACCESSIBILITY:



Attic Access Scuttle.

VISIBILITY:

The homes attic inspection was limited to the "scuttle access" area only.

STRUCTURE:

Engineered Truss System.

MOISTURE:

There was no visible sign of moisture in the attic the day of inspection.

CRITTERS:

The home inspection and report does not address the presence or absence of critter infestations unless set-out by separate agreement at an additional cost. Recommend contacting a state licensed "critter control specialist" to inspect the property and provide a written report as to the condition of the property prior to settlement.

VENTILATION:



Soffit Vents. Ridge Vents.

STORAGE:

Not Floored.

INSULATION:

TYPE: **Blown Cellulose.**
THICKNESS: **8 Inches.**
R-VALUE: **R-35.**
LOCATION: **Attic Floor.**

REMARKS:

INSPECTOR NOTES: **Read Inspector Notes for further information and limitations of the inspection.**

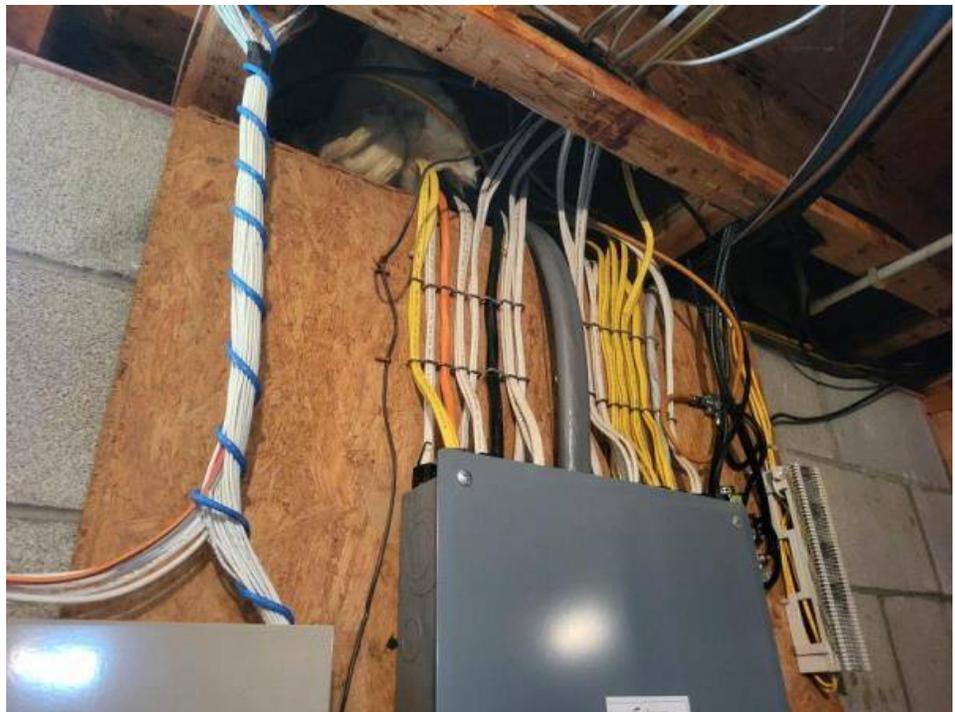
ELECTRICAL SYSTEMS

Inspector Notes: Power usage of major appliances and mechanical equipment is as follows: (Electric Range 30-50 Amps) (Electric Dryer 25-40 Amps) (Electric Hot Water Tank 25-30 Amps) (Electric Central A/C 30 Amps) (Room A/C 7-20 Amps) (Electric Heat 50-75 Amps) (Electric Heat Pump 50 -75 Amps). All major appliances and mechanical equipment should be on dedicated circuits. Smoke detectors and carbon monoxide detectors should be installed near mechanical equipment and in hallways near sleeping areas. Detectors should be maintained in accordance with manufacturer's directions. Ground Fault Circuit Interrupters (GFCIs) are recommended on all outdoor outlets and on interior outlets in wet areas such as bathrooms and kitchen counter areas. Homes built between (1960-1978) with aluminum branch wiring are subject to surface corrosion when placed in direct contact with dissimilar metal at fixture and outlet connections. Aluminum wiring requires periodic inspection and maintenance by a licensed and qualified electrician.

SERVICE ENTRANCE:

CAPACITY: **225 AMPS.**

VOLTS:



240 Volts.

SERVICE LINE: **Underground Service.**

CONDUCTOR: **Aluminum Conductor.**

METER BOX: **Exterior.**

MAIN PANEL BOX:

LOCATION:



Basement Area.

GROUNDING:

Exterior Ground Rod.

BREAKER TYPE:



Single and/or Double-Pole Circuit Breakers.

MAIN BREAKER



200 AMPS.

SUBPANEL:

No Visible Sub Panels.

CIRCUITS & CONDUCTORS:

WIRING TYPE:

Non-Metallic Sheathed Cable.

PANEL QUANTITY:

The homes Main Electric Panel appears to have ample room for expansion.

BRANCH WIRING:

Copper Branch Wiring.

AFCI PROTECTION:

A representative sampling of (AFCI) Arc Fault Circuit Protection circuits were tested and appear serviceable.

SWITCHES & OUTLETS:

RANDOM TESTING:



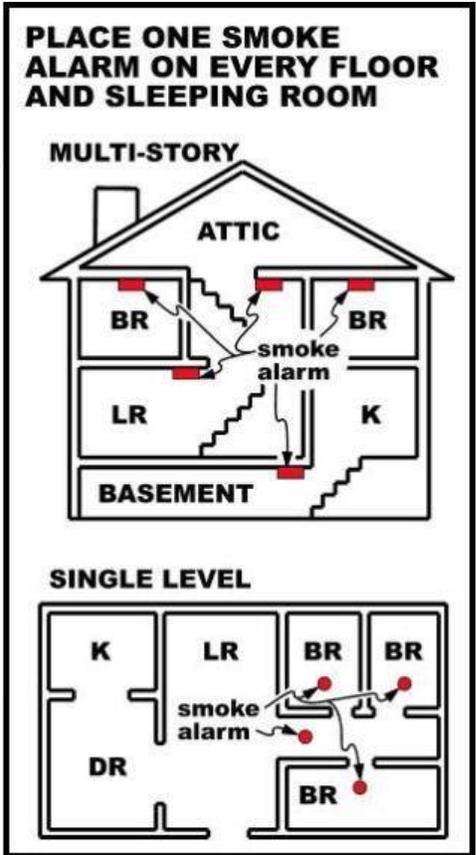
A representative sampling of switches and outlets were tested and appear serviceable.

GFCI PROTECTION:



A representative sampling of (GFCI) Ground Fault Circuit Protection outlets were tested and appear serviceable.

FIRE-CO ALARMS:



Recommend installing or updating old outdated Smoke and/or Carbon Monoxide Detectors in home for life-safety.

FIXTURES & EQUIPMENT:

FIXTURES:

The homes fixtures were "randomly tested" for functionality and appear serviceable for general age and usefulness.

CEILING FANS:

The homes ceiling fans were "randomly tested" for functionality and appear serviceable for general age and usefulness.

LOW VOLTAGE:



The inspection and report does not address low voltage equipment, including but not limited to security systems, lighting systems, electronic thermostats, phone or intercom systems, radio or television systems, smart house systems, cable systems, pet containment systems, sprinkler systems, thermostats or humidistats, attic ventilation fans or any other similar equipment that requires low voltage to activate systems. The home inspector is not qualified to judge or determine the condition of the equipment and all low voltage equipment should be inspected and judged by licensed and qualified specialist familiar with the equipment in accordance with safety standards. Recommend contacting the current owner for any "operating manuals or transferable warranties" and names of contractors that have been maintaining the equipment.

RECREATIONAL:

The inspection and report does not address recreational equipment , including but not limited to hot tubs, whirlpool tubs, swimming pools, steam rooms, saunas, patio equipment, training equipment, entertainment equipment, gas-fired fire-rings, grills and other similar recreational equipment are not judged or part of this inspection.

The home inspector is not qualified to judge or determine the condition of all recreational equipment should be inspected and judged by licensed and qualified specialist familiar with the equipment and local safety standards. Recommend contacting the current owner for any "operating manuals or transferable warranties" and names of contractors that have been maintaining the equipment.

GENERATORS:

The inspection and report does not address back-up generator equipment, including but not limited back-up electric generator systems, auxiliary wiring systems, smart house systems to activate emergency systems and any other similar equipment. The home inspector is not qualified to judge or determine the condition of back-up electrical systems that should be inspected and judged by licensed and qualified specialist familiar with the equipment in accordance with safety standards. Recommend contacting the current owner for any "operating manuals or transferable warranties" and names of contractors that have been maintaining the equipment.

REMARKS:**INSPECTOR NOTES:**

Read Inspector Notes for more information and limitations of the inspection.